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ברנפלד

שמאים בינלאומיים בע"מ
ניהול סיכונים והערכות IFRS

Nachman Berenfeld - Eng
Kobi Wiener - Loss Adjuster
Amir Berenfeld - Eng
David Ducas - Business Development

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January 27th 2019
19033

To:
Mrs. Mor Digmi - Adv.
The Israel Convention and Conference Center.
Tel - Aviv

E-mail: mord@expotelaviv.co.il

Dear Madam,

EXPO Israel – The Israel Convention and Conference Center Underwriting Information Survey

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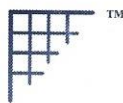




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1. General

- 1.1. At your request of 15.1.2019 we performed an underwriting information survey for the Israel Convention and Conference Center (Expo Israel).
- 1.2. On 16.1.2019 we visited the site and met with the representative of your company who presented the site and the safety measures it contains.

2. Background

- 2.1 The beginning of Expo Tel Aviv traces back to the 1920s, even before the founding of the State of Israel. The cornerstone ceremony for the permanent Yarid Ha'Mizrach structures took place in 1933, and following the founding of the State of Israel the Expo Tel Aviv was constructed at its current location on Rokach Blvd.
- 2.4 The convention center is located within the city of Tel Aviv, Israel's cultural and commercial hub, with stretches of grassy lawns and well-maintained gardens, which together create a magical corner of nature at the heart of the metropolis.
- 2.5 In order to ensure a satisfactory experience for all of clients and visitors to the Convention Center, we are committed to quality and efficient customer service at any time and during all stages, and professional conduct of the highest standard. Expo Tel Aviv is extremely active in making the venue more accessible to the disabled, and has even been awarded the Israeli Accessibility Badge in recognition of its efforts.
- 2.6 The entire venue has been designated as Green, meaning all construction and development are undertaken in accordance with environmental standards, while preserving a green environment and implementing elements of Green Construction.
- 2.7 Expo Tel Aviv stands ready to provide the most suitable solution for any challenge of any magnitude, private or business, with flexibility, innovation, and unlimited service orientation.
- 2.8 The size of the venue and the varied offerings of pavilions and spaces allow our customers to create a unique experience adapted to the customer's requirements, while at the same time providing participants with a feeling of complete privacy.
- 2.9 Operational flexibility and creative planning allow for extraordinary events and the planning of complex events which require special specifications. The variety of halls, the wide enclaves, the grassy green lawns and the option to combine interior and exterior are what make Expo Tel Aviv the Venue of Endless Opportunities.



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- 2.10 Expo Tel Aviv provides optimal access for transportation thanks to its central location and proximity to train stations, the Ayalon Freeway and the adjacent public transportation.
- 2.11 **Display for any Use within the Venue** - anopied exhibition spaces of approximately 25,000 Sq m, which are divided into 8 pavilions of various sizes. Adjacently, there are approximately 20,000 additional Sq m of open exhibition spaces available, right outside the pavilions, on well-kept lawns.
- 2.12 **Plentiful Parking** - Expo Tel Aviv is easy to access and provides around 2,200 parking spaces onsite, including the Heichal Ha'Sport parking lot and at the Ha'Rakevet lot. Approximately 2,000 additional parking spaces are available to visitors at the Ganei Yehoshua parking lot located near the venue.
- 2.14 The project for the construction of Pavilion #2 commenced during the second half of 2010; a complex and expansive project at a cost of around 350 million NIS.
- 2.15 The opening of Pavilion #2 at the start of 2015 brought with it a new standard to the events sector with the introduction of a variety of options never before seen in Israel, both in terms of the operational functionality they provide as well as their versatility.



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3. Description of Site

3.1. The Expo is located in northern Tel Aviv between highway 20 (Ayalon) to its west, Rokach Boulevard to its south and a perimeter road – Isaac Ramba Street to its east and north.

3.2. The compound contains the following:

- Pavilion 1
- Pavilion 2
- Pavilion 10
- Pavilions 11-14
- Shed and auxiliary buildings
- The "Ocean" Event Center
- The former "Green Villa" Building
- Various auxiliary buildings
- Electricity and transformer rooms.

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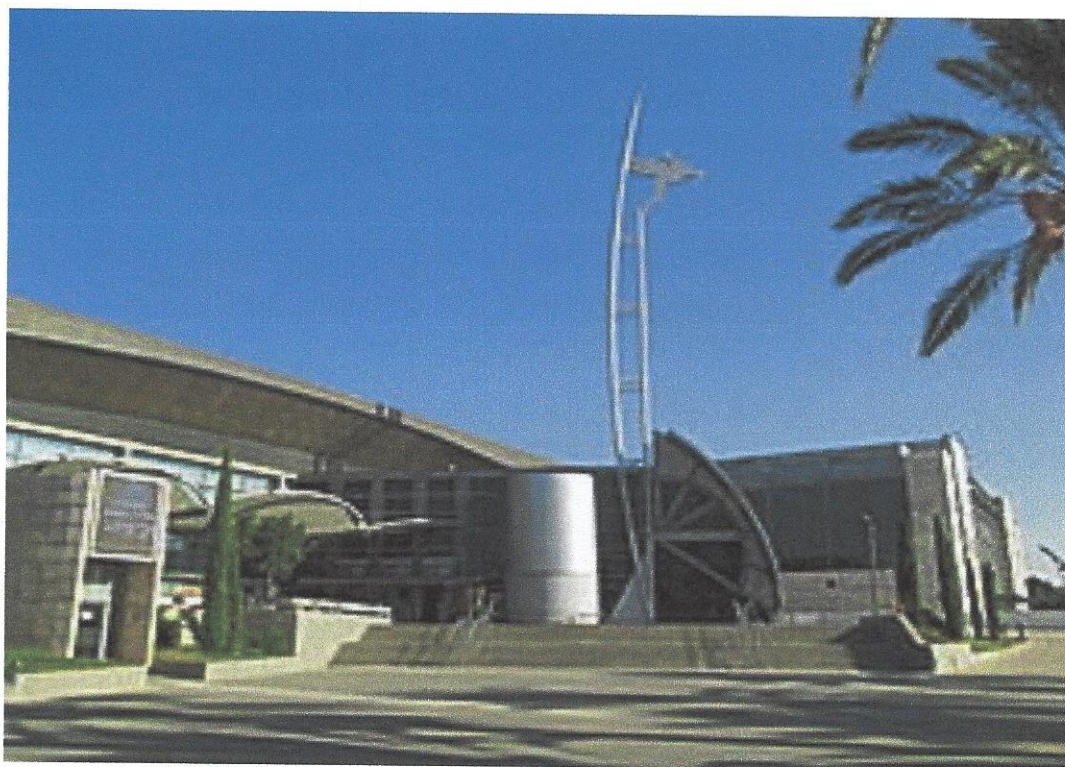
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The Center contains the following buildings:

3.3. Main Office and Exhibition Building – Pavilion 1

- 3.3.1. One high ceiling floor and in the north, west and east wings – two floors, containing offices, lobby, convention halls, basement (-1) used as a parking, machine rooms etc.
- 3.3.2. The building contains a central AC system, passenger lifts, water sprinklers, fire/smoke detection etc.
- 3.3.3. The building has a concrete foundation, wall and glass walls, concrete and wood floors in the offices, steel construction roofs, concrete and isolated tin.
- 3.3.4. Total area of building including parking – 20,650 sq meters.
- 3.3.5. The pavilion 1 parking is interconnected to the pavilion parking by an 8-meter-wide passage.



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Distance between pavilion 1 (left side) & Pavilion 2 (right side)





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3.4. Pavilion 2

- 3.4.1. Pavilion 2 is located at the south east wing of the Expo.
- 3.4.2. The Pavilion includes two buildings- east and west separated by a central hall. There are two underground levels below the Pavilion which totals 50,000 sq meters.
- 3.4.3. The central hall of pavilion 2 offers the largest convention space in the middle east with 6,480 sq meters of space at a height of 20 meters (without supporting pillars), in addition to various convention spaces, catering spaces, meeting rooms etc.

3.4.4. Central Space

- a. A 20 meter high hall with a steel construction roof and multi- layer isolating tin. A lighting system is installed on the ceiling, in addition to AC, sprinklers.
- b. **South and North wings** – glass walls anchored to steel construction.
- c. **East and West Wings** – Brick walls covered by perforated drywalls.
- d. Concrete floors.
- e. 3 acoustic dividers, ceiling to floor – imported from the USA – dividing the hall to 4 sub spaces.
- f. The hall capacity is 8,000-10,000 persons.
- g. Total area 6,480 sq meter.

3.4.5. West Building

- a. A 4 level building with concrete foundation, brick walls covered by stone and concrete roof.
- b. The building divides as follows:
 - **Ground Level** – Truck service entry and 2 kitchens, unequipped.
 - **First Level** – Technical
 - **Second Level** - Restrooms
 - **Levels 3-4** – office floors undivided with tile floors and concrete roofs, with sprinklers designated for subletting.
 - **Roof Level** – Generator and electricity rooms.



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3.4.6. East Building

- a. A 4 level building with concrete foundation, brick walls covered by stone and concrete roof.
- b. The building divides as follows:
 - **Ground Level** – lobby and mezzanine, terrazzo tiles and external glass walls, internal bricks covered by stone, concrete ceiling with wooden beams, 2 escalators leading to mezzanine.
 - **First Level – (+8)** – 2 lecture rooms (capacity 800 and 400), air unit room.
 - **Second Level (+14)** – an open air event terrace totaling 2,200 sq meters.

3.4.7. Underground Levels

- a. The two underground levels have concrete foundation, concrete roof and walls.
- b. **Level (-2)** – a 230 vehicle 10,750 sq meter parking lot and 2 convention halls, main kitchen and service areas totaling 5,250 sq meters. The halls are at envelope condition with concrete floors totaling 1,700 sq meters. Total area of level (-2) 16,060 sq meters. Note: the hall height margins the ground level.
- c. **Level (-1)** – a 235 vehicle parking and convention halls, totaling some 10,740 sq meters.
- d. North wing parking entrance
- e. Total area – both floors 26,800 sq meters.

3.4.8. The distance between pavilions 1 and 2 is approx. 25 meters.

3.4.9. The pavilion 1 parking is interconnected to the pavilion parking by an 8-meter-wide passage.

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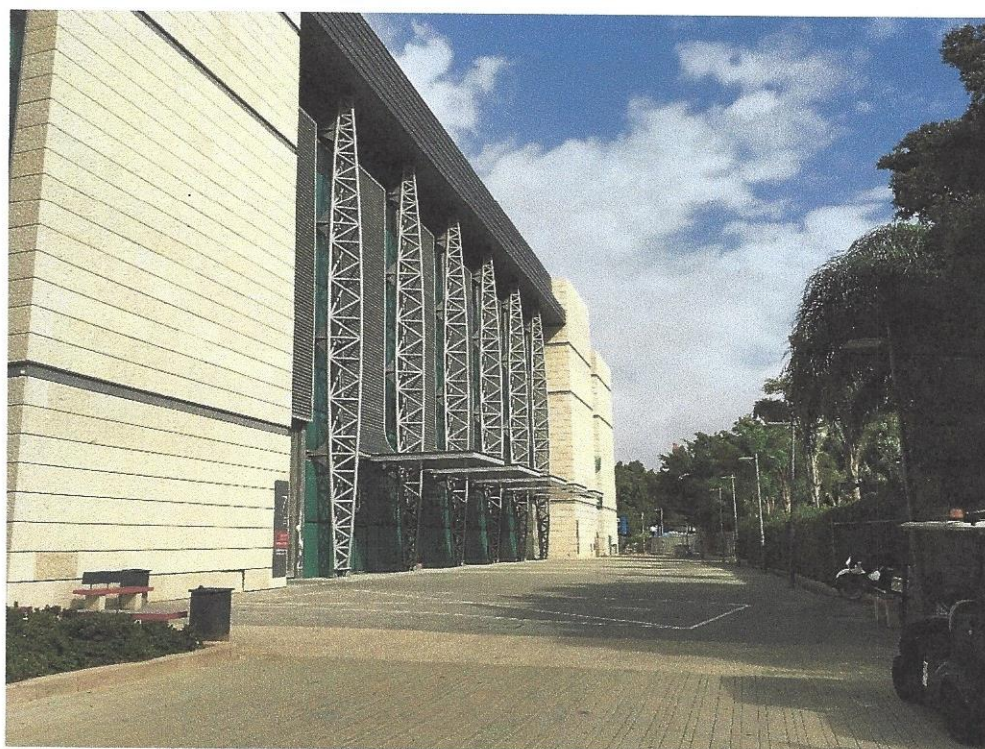
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3.5. Pavilion 10

3.5.1. A one level building with brick walls, steel construction roof covered by isolating tin, floors – part concrete and part granite tiles, part carpeted, central AC, lowered ceiling, sprinklers, fire/smoke detection. Acoustic dividers, amplifying system etc.

3.5.2. In 2012, a complete renovation was made to most of the building areas including:

- Sealing of roof
- Decorative external tin including lighting
- Tiling
- Restroom facilities
- Renovation of halls
- Acoustic dividers
- Sprinklers, fire/smoke detection/ CCTV etc.
- AC infrastructures
- Additional AC units on roof
- Multimedia systems in halls

3.5.3. Total area 4,800 sq meters.

3.5.4. Distance between Pavilions 10 and 2 and between pavilion 10 and 1 approx. 20-30 meters.

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3.6. Pavilions 11-14

3.6.1. 4 one level buildings used for exhibitions.

3.6.2. The buildings have concrete foundation, brick walls, part tin and part concrete roofs, concrete floors, central AC etc, an extra covering of the roof was done in 2014.

3.6.3. Total area of buildings some 6,990 sq meters.

3.6.4. The pavilions are at a distance of 10-15 meters apart.



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- 3.7. **Auxiliary Buildings, Sheds, Tenants** – including all buildings from the pedestrian gate (1) to, and excluding, the "mixer" building, right of the entrance and small of the gate – a two level building – on the right, One level sheds have steel foundations, tin roofs and walls, concrete floors, totaling 3,000 sq meters.
- 3.8. **Former "Villa" Building** – a one level building with concrete foundation, glass and drywalls, concrete floors, sprinklers, fire/smoke detection, AC etc.
- 3.9. **Events Hall**
- 3.9.1. The "Ocean" event hall is a part one level and part two level building.
- 3.9.2. Concrete floors, brick walls, roof- part isolated tin and part concrete, concrete floor, kitchen with freezing and cooling rooms, blowers etc – air conditioned.
- 3.9.3. An asphalt parking lot is located on the west wing of the hall.
- 3.9.4. Total area of building is 2,000sq.m.
- 3.9.5. The building is at a distance of some 20 meters in the northern wing from pavilion 2.
- 3.10. **Electricity Rooms and Transformers** –single floor concrete buildings totaling some 530 sq meters.
- 3.11. A concrete surface, between pavilions 10 and 1 surrounded by a metal fence, at the time of our visit the area was under development.
- 3.12. In the south wing of the Expo – a pedestrian walkway over Rokach Boulevard bridging the parking lots and the Expo.
- 3.13. The compound is surrounded by a metal fence with gates, guard posts.

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4. Central Systems

4.1. Electricity and Transformers

4.1.1. The electricity array is fed by a 22KV feed from the electricity network including:

a. Transformers

- Two transformers, 1,250 KVA each, oil cooled and switches.
- Three transformers, 1,650 KVA each, high voltage air cooled and switches.
- Three transformers, 1,250 KVA each, high voltage air cooled and switches.
- Three transformers, 630 KVA each, high voltage oil cooled and switches.
- Pavilions 2: seven transformers, 1,650/2,000 KVA, high voltage and switches.

b. **Main Electricity Boards** – numerous main boards- 1,250-4,000 KVA.

4.1.2. **Automatic Gas Extinguishers** – installed on boards over 100A.

4.1.3. **IR/Thermography** – performed annually on all boards.

4.1.4. **Maintenance** – performed annually by ELCO.

4.2. Escalators and Lifts

4.2.1. **Pavilion 1** – four passenger lifts maintained under contract by "ISRALIFT".

4.2.2. **Pavilion 2** – eleven passenger lifts and 4 escalators made by OTIS in 2014-2015 maintained under contract by "Electra".

4.2.3. Lifts and escalators are examined by an engineer every 6 months.

4.3. AC Array

4.3.1. There are several systems serving the compound at a total capacity of 2,500 BTU.

4.3.2. The systems are maintained by ELECTRA.



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4.3.3. **Pavilion 10** – 12 new UNIQUE units were installed in 2011-2012.

4.3.4. **Pavilion 2** – the pavilion is cooled by 2 central centrifugal units producing 900 BTU each, manufacture by YORK, including chillers, cooling towers, pumps, accessories etc maintained by "MASHAV".

4.4. Generators

4.4.1. There are 5 generators on site:

- a. **Pavilion 2** – two 1,500 KVA Mitsubishi Generators
- b. **Pavilion 1** – two 660 KVA FG Wilson Generators
- c. A 400KVA Emergency Generator.

4.4.2. **Maintenance** – The generators are maintained by PK Generators regularly including oil and filter changes.

4.4.3. The Expo maintenance team operates the generators once every two weeks for several minutes.



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5. Fire protection Measures

5.1. Automatic Water system (sprinklers)

- 5.1.1. Sprinklers are installed throughout the compound, underground parking areas (pavilions 1 and 2), halls, offices, main hall, kitchens etc.
- 5.1.2. The sprinklers are fed by a pump room located in pavilion 1.
- 5.1.3. **Pump Room Level (-1) Pavilion 1** – a centrifugal 1822 CF 150 HP, 1000GPM, 2,9520 RPM Diesel CLARKE pump and an electric US Motors pump are located on site.
- 5.1.4. The water pressure measures 150PSI.
- 5.1.5. We were informed that the systems meet the Israeli Standard 1596.
- 5.1.6. The system is tested once a year by an external company. Last test was done on 28.10.18 by "Gapir" company

5.2. Fire/Smoke Detection

- 5.2.1. Fire/smoke detection systems are installed throughout the compound with ceiling detectors, in some places also beam detectors.
- 5.2.2. All buildings (excluding 1 and 2) are equipped with sub exchange systems connected to the main exchange system located in the server room, adjacent to the control room in pavilion 2.
- 5.2.3. Buildings 1 and 2 are equipped with separate fire/smoke detection exchange connected to the main exchange system located in the server room, adjacent to the control room in pavilion 2.
- 5.2.4. The systems are connected both to the main control room exchange located in level (-2) of building 2 and to the fire brigade and the Expo safety officer.
- 5.2.5. We were informed that all systems meet Israeli Standard 1220.
- 5.2.6. The system is tested once a year by an external company. Last test was done in 4/18 by "Orad" company.



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5.3. Fire protection equipment

- 5.3.1. The city feed to the compound is a 6" used for both standard consumption and the fire safety systems.
- 5.3.2. 3" Hydrants, reels, hoses and posts are located throughout the compound.
- 5.3.3. The buildings are equipped with fire posts including reels, hydrants, hoses and 2"-3" feeds.
- 5.3.4. The equipment is tested annually by a skilled provider. Last test was done in 11/18 by "A. Yanus" company

5.4. Pavilion 2

- 5.4.1. **Main Hall** – 7 smoke blowers.
- 5.4.2. Each building (east and west) contains 3 internal staircases from roof to (-2) with panic metal fire proof doors.
- 5.4.3. **Kitchens**
 - a. **Fumes** – automatic gas extinguishers installed in the fumes. The fumes are cleaned once a year by an external company. Last test was done on 23.12.18 by "Zakin sealed" company.
 - b. There is a main kitchen located on level (-1) and endpoint kitchens operated under rental contracts by "Emilia Catering".

5.5. Pavilion 1

- 5.5.1. **Smoke Release System** – including window openers in the convention hall is installed in the pavilion.
- 5.5.2. **Kitchen** – located on level 1.
- 5.5.3. **Fumes** – automatic gas extinguishers installed in the fumes. The fumes are cleaned once a year by an external company. Last test was done on 7.12.18 by "Zakin sealed" company.



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5.5.4. **Gas** – Only electric heating and not gas cooking or heating are performed on site.

5.6. Pavilion 10

5.6.1. Smoke blowers are installed.

5.6.2. **Kitchen** – heating only. Automatic gas extinguishers are installed in the fumes. The kitchen is operated by "Lazar Deli".

5.6.3. **Fumes** - The fumes are cleaned once a year by an external company. Last test was done on 2.12.18 by "Zakin sealed" company

5.7. **Smoke Releasing Windows** – installed where the windows are high (pavilion 12).

5.8. All buildings are equipped with panic doors, fire proof, some glass and some single wing.

5.9. **AC** – we were informed that dampers are installed in AC Channels, for fire safety.

5.10. **Signs and Emergency Lights** – installed throughout the buildings.

5.11. **"OCEAN" building** – kitchen with blowers and gas extinguishers.

5.12. Server Room

5.12.1. The main server room is located on level (-2) in pavilion 2, adjacent to the 24/7, 365 days per year manned post.

5.12.2. Floating floor, acoustic ceiling and AC.

5.12.3. Automatic gas extinguisher system is installed in the server room.

5.12.4. The computing system and communication system are equipped with 20KVA UPS.

5.13. The Expo employs a safety manager in charge of all safety and anti-burglary measures, operation and safety requirements from all customers and contractors.



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5.14. Authorities

5.14.1. Your safety officer informed us that your company has valid fire permits and business permits.

5.14.2. We were informed by the safety officer that each operator (event center, offices etc) is required to present its business and fire permits.

5.14.3. We were informed by the safety officer that each event requires that the renting agent presents a safety program and a signed constructor permit, safety consultants are selected from a list approved by the Expo.

5.14.4. Your representative informed us that the lighting and amplifying systems installed under the responsibility and liability of the renting agent.

5.14.5. **Business permits** – The company has business permits for the following building:

- Pavilion 1.
- Pavilion 2.
- Pavilion 10.
- Pavilion 12 (temporary).
- Pavilion 13.
- Pavilion 14.
- Outside areas.

5.15. **Heat Works** – are performed in accordance with the requirements of the safety officer and regulations, as are height works.

5.16. **Employee Training** – performed annually on the subjects of fire safety, escape routines, by the safety consultant Mr. Muzi Buton

5.17. **Fire Brigade Station** – Located a 5 minute drive from the Expo.



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5.18. Electricity and High Voltage

5.18.1. Automatic gas extinguishers are installed on all boards over 100A.

5.18.2. **IR/Thermography** – performed annually on all main boards.

5.18.3. Electricity cables are coated by fire deterrents.

5.18.4. **Maintenance** – The array is maintained by a certified electrician; high voltage is maintained by a high voltage engineer.

5.19. The parking entrance from the north side of the building is locked by a grid metal gate.

5.20. **PA** – installed throughout the compound.

6. Burglary Protection Measures

6.1. **CCTV** – installed throughout the compound and in the buildings connected to the main control room.

6.2. Security

6.2.1. 24/7, 7 days a week security is provided by a security service.

6.2.2. A patrolling guard is posted 24/7.

6.3. The control room is located on level (-2) in pavilion 2 manned 24/7, 365 days per year.

6.4. We were informed that guards are unarmed and there is no arms cabinet on site.

6.5. The compound is surrounded by a metal grid fence with gates and guard posts.

6.6. **OCEAN Event Center** – the event center and parking lot are separated from the general compound by a grid metal fence and gates.



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7. Natural Risks

- 7.1. We were informed by your representative that all buildings were constructed in accordance with the Israeli Earthquake Standard.
- 7.2. The site is located on zone 1 of the Munich-re Scale (less sensitive area).
- 7.3. Rain – average raining is 500-600mm per year.
- 7.4. The site is located adjacent to the Yarkon River but no floods were recorded during the last 20 years.

8. History

- 8.1. We were informed by your representatives that no damages accrued in last several years.

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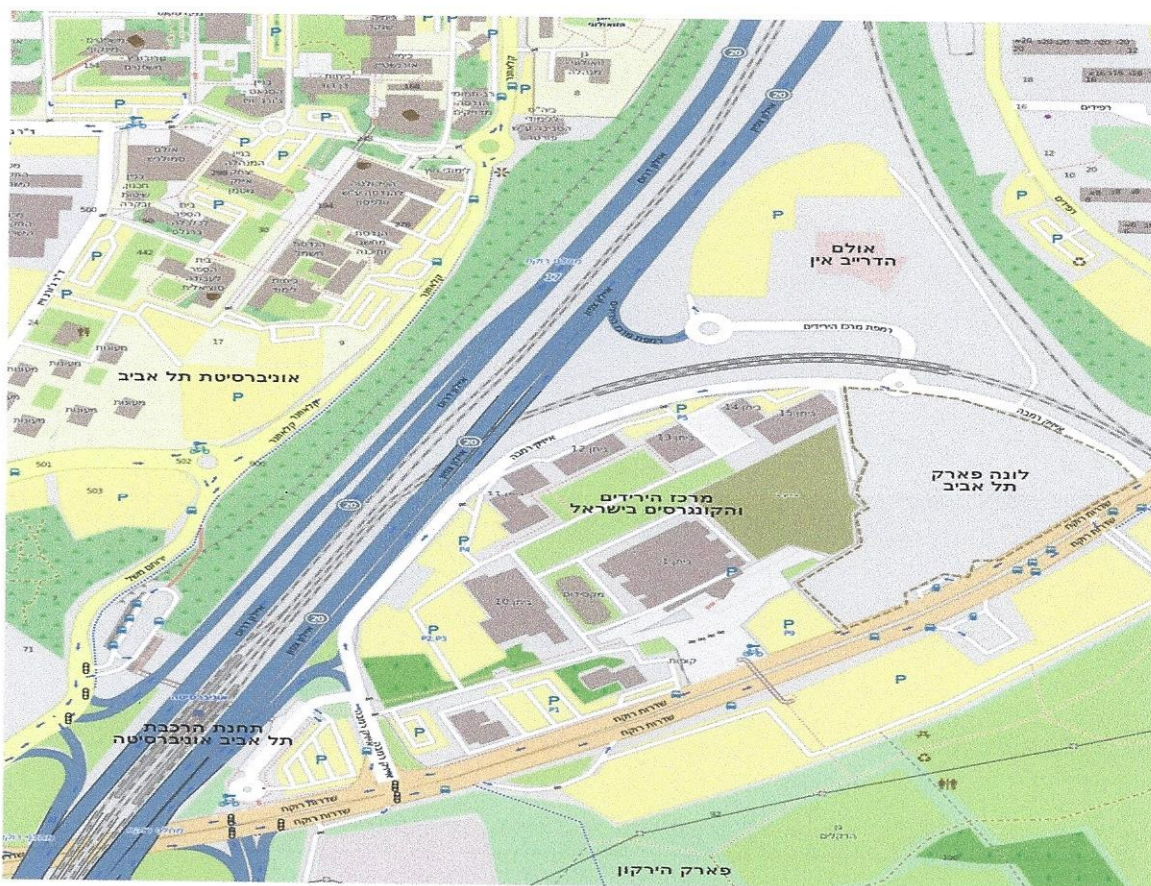
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9. Third Party

- 9.1. **East Wing** – The Luna Park (amusement park) is located at a distance of some 20-30 meters, separated by a fence.
- 9.2. **West Wing** – highway (Ayalon) and a parking lot at a distance of some 40-50 meters from the compound buildings.
- 9.3. **South Wing** – Rokach Boulevard.
- 9.4. **North Wing** – Perimeter road.





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10. M.P.L/E.P.L

- 10.1. The main building is pavilion 2. Level (-2) of pavilion 2 is connected to underground level (-1) of pavilion 1.
- 10.2. The buildings in the compound are at distances of some 20 meters from one another.
- 10.3. In case of a severe event in pavilion 2 – fire/explosion (excluding natural hazards and earthquakes) there is a risk of fire expansion to level (-1) of pavilion 1. We estimate damages to pavilion 1 & pavilion 2 at 40% of the insurance value (buildings, equipment, inventory and profit loss) – 255 million shekels.
- 10.4. **Indemnity Period pavilion 1 – 18 months.**
- 10.5. **Indemnity Period pavilion 2 – 36 months.**

11. Loss of Profit (according 2018 policy)

- 11.1. The company annual revenue (2018) is 96 million NIS divided as follow:
 - **Pavilion 1 – 14 million NIS.**
 - **Pavilion 2 – 21 million NIS.**
 - **Rest of buildings – 64 million NIS.**
- 11.2. Annual Gross Profit: 42.458 million NIS divided as follow:
 - **Pavilion 1 – 7.3 million NIS.**
 - **Pavilion 2 – 7.659 million NIS.**
 - **Rest of buildings – 27.499 million NIS.**
- 11.3. **Indemnity Period pavilion 1 – 18 months.**
- 11.4. **Indemnity Period pavilion 2 – 36 months.**
- 11.5. **Indemnity Period for other buildings – 12 – 18 months.**



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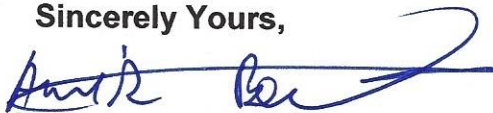
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12 Summary

- 12.1 The site is located in northern Tel-Aviv, in an area of 91,400sq.m
- 12.2 The distance between the buildings are 20m. The buildings are equipped with fire protection equipment, sprinkler system and fire/smoke detection system.
- 12.3 In our opinion the safety measures in the building are satisfied and the risks to the insured property are reasonable, as acceptable in other centers around the world.

Sincerely Yours,



Amir Berenfeld - Engineer

Berenfeld International Loss Adjusters & Risk Management Ltd.

Attached:

Safety permits

Photos

Invoice